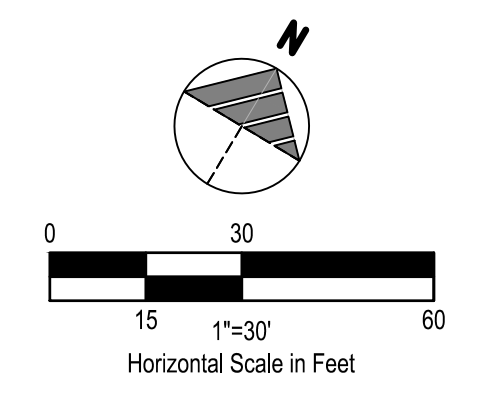
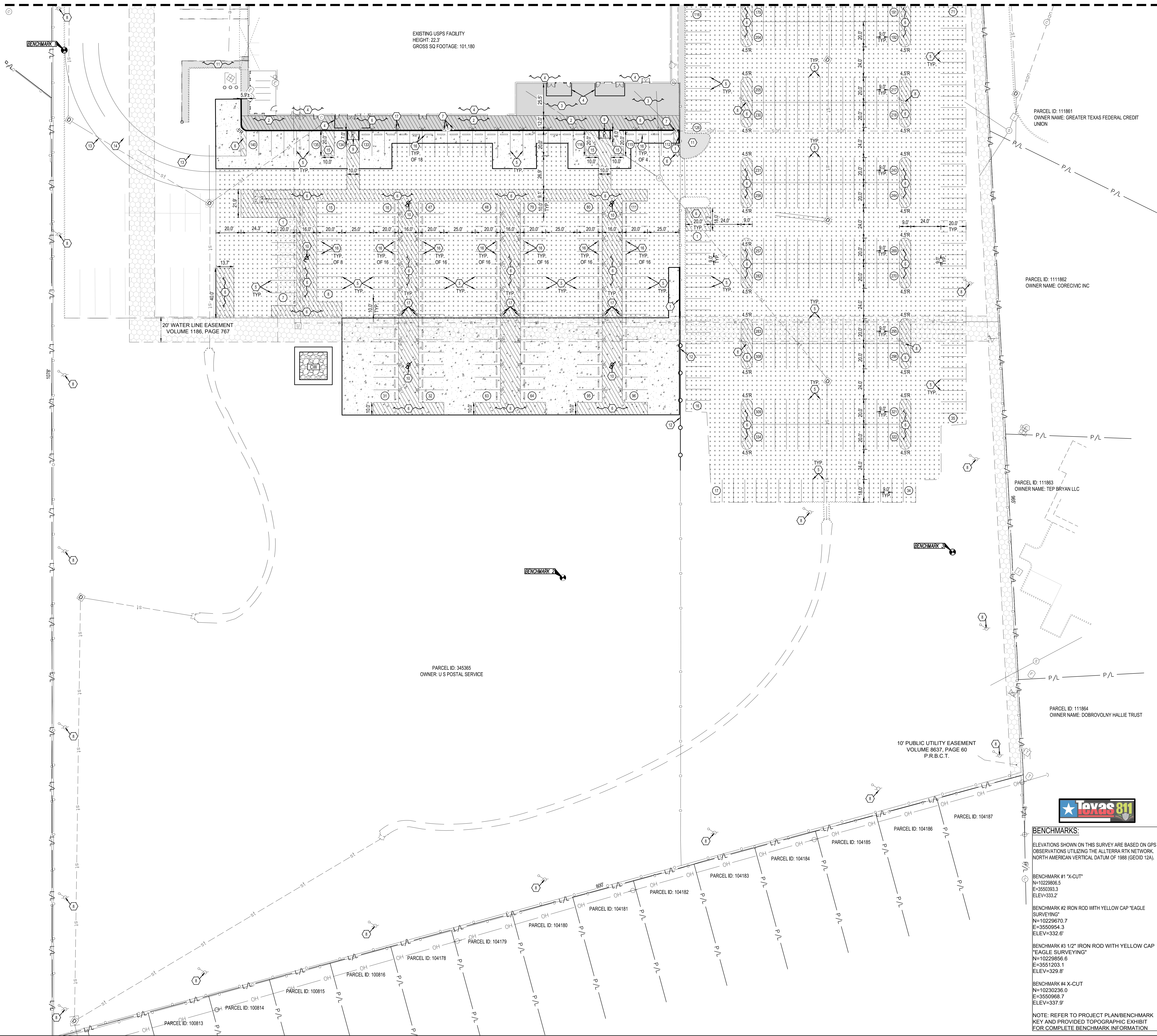


MATCHLINE - SEE SHEET C-112



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**LEGEND**

- (SEE SHEET C-401 FOR GENERAL LEGEND)
- PROPOSED CONCRETE PAVEMENT. SEE SHEET C-501.
- PROPOSED CONCRETE WALK. SEE SHEET C-501.
- CONTRACTOR SHALL USE AIR COMPRESSOR (100 PSI MINIMUM) TO THOROUGHLY CLEAN ALL CONCRETE PAVEMENT CRACKS AND JOINTS OF ANY DEBRIS AND VEGETATION. PAVEMENT SHALL BE SWEEPED TO COLLECT AND DISPOSE OF ALL ACCUMULATED DEBRIS AND VEGETATION. AFTER SWEEPING, CONTRACTOR SHALL FILL ALL CRACKS AND JOINTS IN ACCORDANCE WITH TXDOT ITEM NO. 380 AND DMS-4310 "JOINT SEALANTS AND FILLERS".
- CONTRACTOR SHALL POWER WASH ALL SIDEWALKS FREE OF DEBRIS, DIRT AND STAINS. ONCE DRIED, CONTRACTOR SHALL CRACK FILL AND SEAL ALL JOINTS PER TXDOT SPECIFICATION SECTION 360.
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED CONCRETE WASHOUT FACILITY REFER TO SWPP DETAILS

**PLAN KEYNOTES**

1. PROPOSED CONCRETE CURB. SEE SHEET C-501.
2. PROPOSED CONCRETE CURBED WALK. SEE SHEET C-501.
3. PROPOSED CONCRETE WALK. SEE SHEET C-501.
4. PROPOSED BUILDING IMPROVEMENTS. SEE ARCHITECTURAL PLANS.
5. PROPOSED PAINTED 4" WIDE SOLID YELLOW STRIPE. PAVEMENT MARKINGS AND NOTES ON SHEET C-501.
6. PROPOSED PAINTED TRANSVERSE STRIPING. PAVEMENT MARKINGS AND NOTES ON SHEET C-501.
7. CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF THE UTILITY STRUCTURE. CONTRACTOR TO ADJUST THE UTILITY COVER AS NEEDED TO ENSURE NO CONFLICTS OCCUR WITH THE PROPOSED CURB.
8. PROPOSED LIGHT POLE UPRIGES ON EXISTING FUTURE. SEE ELECTRICAL PLANS
9. PROPOSED RAMP AND HANDRAIL. SEE SHEET C-501.
10. PROPOSED LIGHT POLE AND FOUNDATION. SEE ELECTRICAL PLANS.
11. PROPOSED CONCRETE SIDEWALK MAINTENANCE. SEE NOTE ABOVE
12. CONTRACTOR TO REINSTALL EXISTING FENCE. SEE DEMOLITION PLAN FOR DETAILS.
13. PROPOSED PAINTED 4" WIDE SOLID RED STRIPE. PAVEMENT MARKINGS AND NOTES ON SHEET C-501.
14. PROPOSED PAINTED 4" WIDE DASHED RED STRIPE. PAVEMENT MARKINGS AND NOTES ON SHEET C-501.
15. PROPOSED CONCRETE EQUIPMENT PAD. SEE THIS SHEET FOR DIMENSIONS AND EV PLANS FOR DETAILS.
16. PROPOSED CONCRETE WHEELSTOP. SEE SHEET C-501.
17. PROPOSED ELECTRIC CHARGER AND BOLLARDS. SEE EV PLANS.

**PARKING SPACES**

EXISTING SPACES	CARRIER		EMPLOYEE	RETAIL
	LLV	NGOV		
EXISTING SPACES	-	-	322	97
TARGETED SPACES	0	140	334	98
PROPOSED SPACES				

**PROJECT DESCRIPTION**

THIS SITE CURRENTLY FUNCTIONS AS THE BRYAN UNITED STATES POSTAL OFFICE AS PART OF THE BRIAR MEADOWS CREEK SUBDIVISION (PHASE 3). THE MAJOR EXTERIOR SITE WORK INCLUDES THE EXPANSION OF THE CARRIER PARKING LOT, NEW SIDEWALKS, PAVEMENT RESTRIPING, AND ADA SITE IMPROVEMENTS.

**PROJECT LOCATION STATISTICS**

PARCEL SIZE:	20.76 ACRES
TOTAL DISTURBED AREA:	1.37 ACRES
EXISTING LAND USE FOR THE SITE IS AN EXISTING USPS CENTER.	
ESTIMATED PRE-CONSTRUCTION IMPERVIOUS AREA:	10.46 ACRES
ESTIMATED PRE-CONSTRUCTION IMPERVIOUS PERCENT:	50.40%
PRE-CONSTRUCTION RUN-OFF COEFFICIENT:	0.63
PROPOSED LAND USE WILL BE AN UPDATED USPS CENTER.	
ESTIMATED POST-CONSTRUCTION IMPERVIOUS AREA:	10.95 ACRES
ESTIMATED POST-CONSTRUCTION IMPERVIOUS PERCENT:	52.75%
POST-CONSTRUCTION RUN-OFF COEFFICIENT:	0.64

**PROJECT LOCATION**

LATITUDE: 30.671162°      LONGITUDE: -96.343242°

EXISTING SITE SOIL TYPES:  
 Zs: BOONVILLE-URBAN LAND COMPLEX, 0 TO 3 PERCENT SLOPES  
 REFERENCE: USDA NATIONAL RESOURCES CONSERVATION SERVICE SOIL SURVEY.

**WETLAND INFORMATION**

THERE ARE NO KNOWN WETLANDS WITHIN THE PROJECT LIMITS.

THE MAJORITY OF THE SITE IS SIDEOVED INTO AN EXISTING DETENTION BASIN, LOCATED IN THE GREEN SPACE ON THE SOUTH SIDE OF THE PROPERTY. A PORTION OF THE STORM WATER SHEET FLOWS FROM NORTH TO SOUTH INTO THE BASIN. THE OTHER HALF OF THE SITE UTILIZES CATCH BASINS TO CONVEY WATER INTO THE DETENTION BASIN. FROM THE BASIN, THE WATER IS ROUTED THROUGH A SERIES OF STORM PIPES INTO ANOTHER DETENTION BASIN (BRIARCREST 'MIST' 1 DETENTION BASIN). FROM THERE, THE WATER IS CONVEYED TO SEWER CREEK, WHICH IS TRIBUTARY TO THE LARGER CARTER'S CREEK.

**POST CONSTRUCTION WQV / BMP DESCRIPTION**

PER THE ORIGINAL '1987 DRAINAGE REPORT', THE EXISTING BASIN IS ADEQUATELY SIZED FOR THE ADDITIONAL IMPERVIOUS AREA. THEREFORE, NO ADDITIONAL WATER QUALITY, OR WATER QUANTITY MEASURES ARE REQUIRED. REFER TO STORMWATER REPORT FOR ADDITIONAL INFORMATION.

**OWNER NAME: US POSTAL SERVICE**

ZONING: COMMERCIAL

**ANTICIPATED TIMING**

CONSTRUCTION BEGIN: APRIL 2023  
 CONSTRUCTION COMPLETE: AUGUST 2023

CONTRACTOR: T.B.D.

CONTACT: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

CONTRACTOR SHALL MAINTAIN A CONSTRUCTION LOG DOCUMENTING ALL GRADING AND STABILIZATION ACTIVITIES.



**BENCHMARKS:**

ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS UTILIZING THE ALLTERRA RTK NETWORK, NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 12A).

BENCHMARK #1 'X-CUT'  
 N=10228806.5  
 E=3550393.3  
 ELEV=333.2'

BENCHMARK #2 IRON ROD WITH YELLOW CAP 'EAGLE SURVEYING'  
 N=10229870.7  
 E=3550954.3  
 ELEV=332.6'

BENCHMARK #3 1/2" IRON ROD WITH YELLOW CAP 'EAGLE SURVEYING'  
 N=10229856.6  
 E=3551203.4  
 ELEV=329.8'

BENCHMARK #4 'X-CUT'  
 N=10230238.0  
 E=3550968.7  
 ELEV=337.9'

NOTE: REFER TO PROJECT PLAN/BENCHMARK KEY AND PROVIDED TOPOGRAPHIC EXHIBIT FOR COMPLETE BENCHMARK INFORMATION

PROJECT NUMBER	DESIGNER
Project Manager (only)	Designer (only)
DATE	2022359.02

USPS SDC - BRYAN, TX - PH2  
 2121 E. W. WIL J. BRYAN PKWY  
 BRYAN, TX 77801



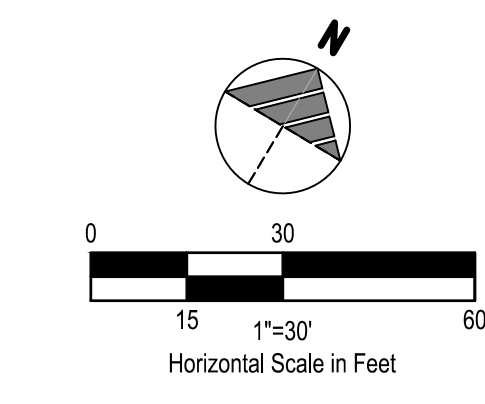
Facilities, 4301 wilson blvd., suite 300, orlington, va 22203-1861

Revisions: FOR CONSTRUCTION

**C-111** SITE PLAN

Scale: NTS  
 Project: USPS SDC - BRYAN, TX - PH2  
 Date: 02/10/2023  
 USFS File Number:





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DESIGNER	PROJECT MANAGER	DATE
Designer (Only)	Project Manager (Only)	2022359.02

USPS SDC - BRYAN, TX - PH2  
2121 E. W. WIL J. BRYAN PKWY  
BRYAN, TX 77801



Facilities, 4301 Wilson Blvd., Suite 300, Arlington, TX 76010-1861

Revisions: FOR CONSTRUCTION

**C-112**  
Scale: NTS  
Project: USPS SDC - BRYAN, TX - PH2  
Date: 02/10/2023  
USPS File Number:

**SITE PLAN**

**LEGEND**  
(SEE SHEET C-001 FOR GENERAL LEGEND)

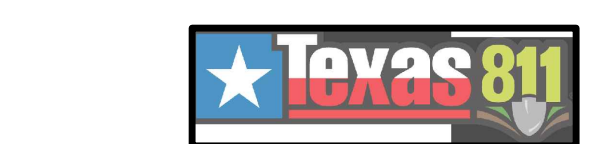
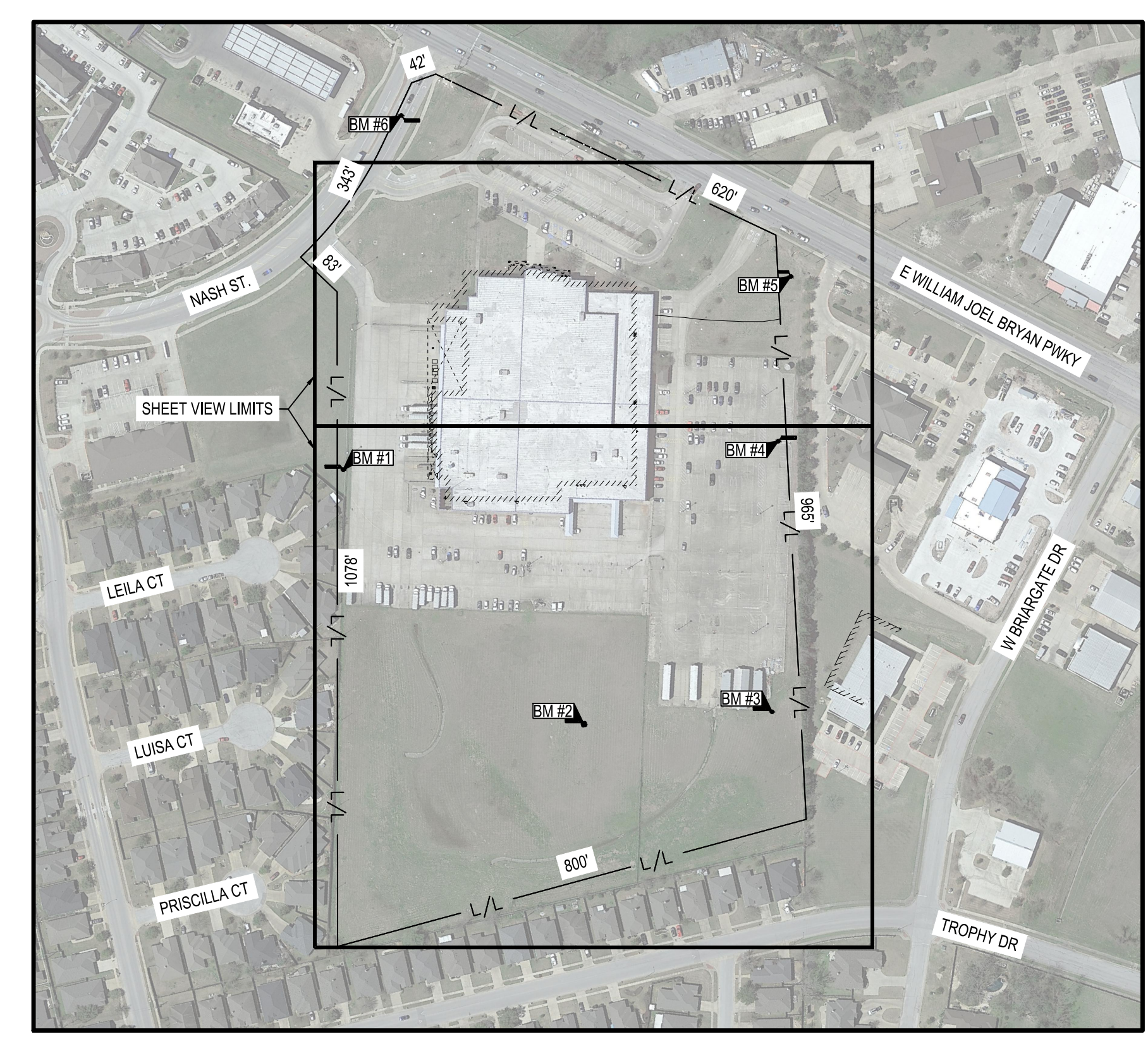
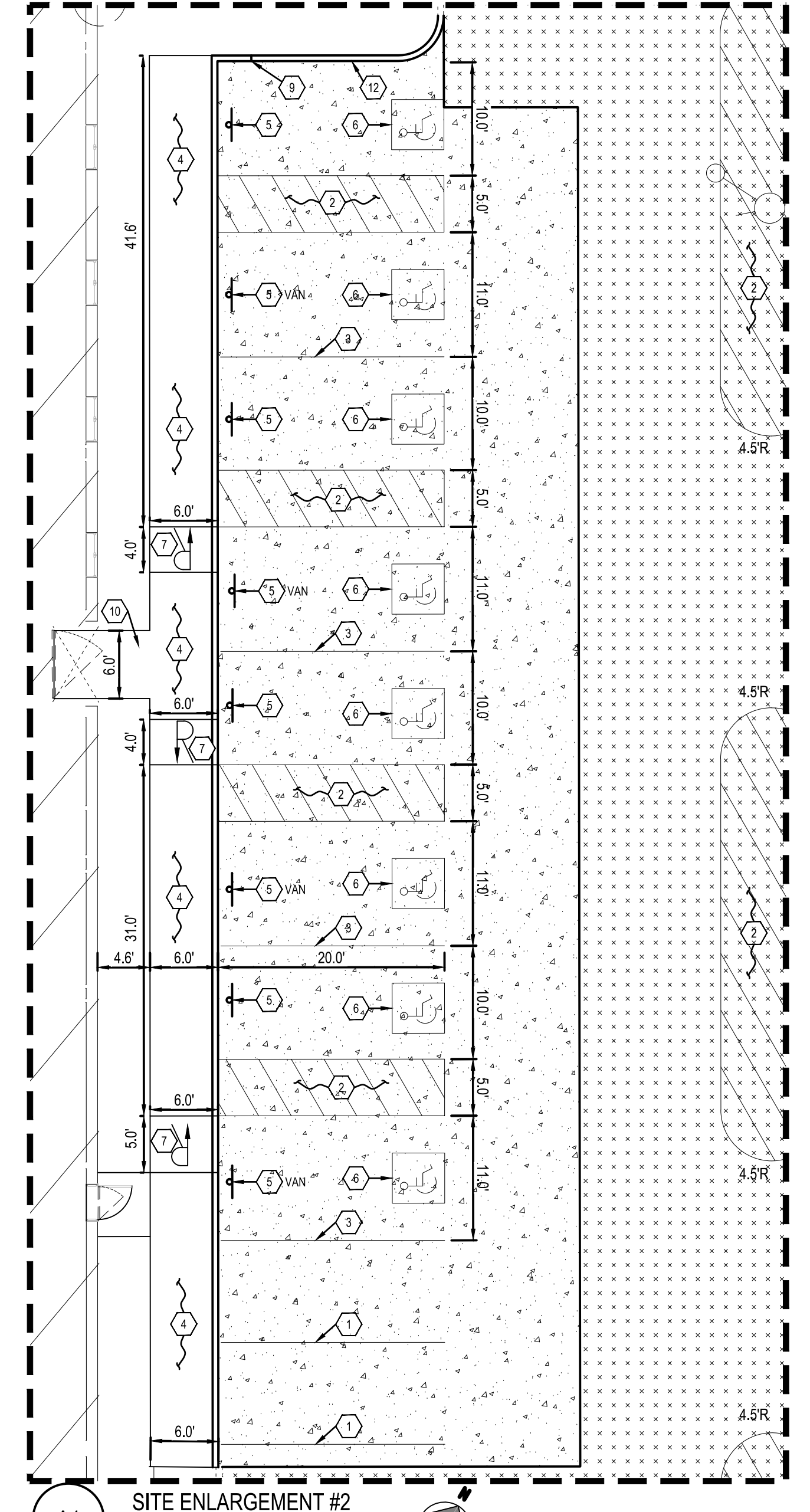
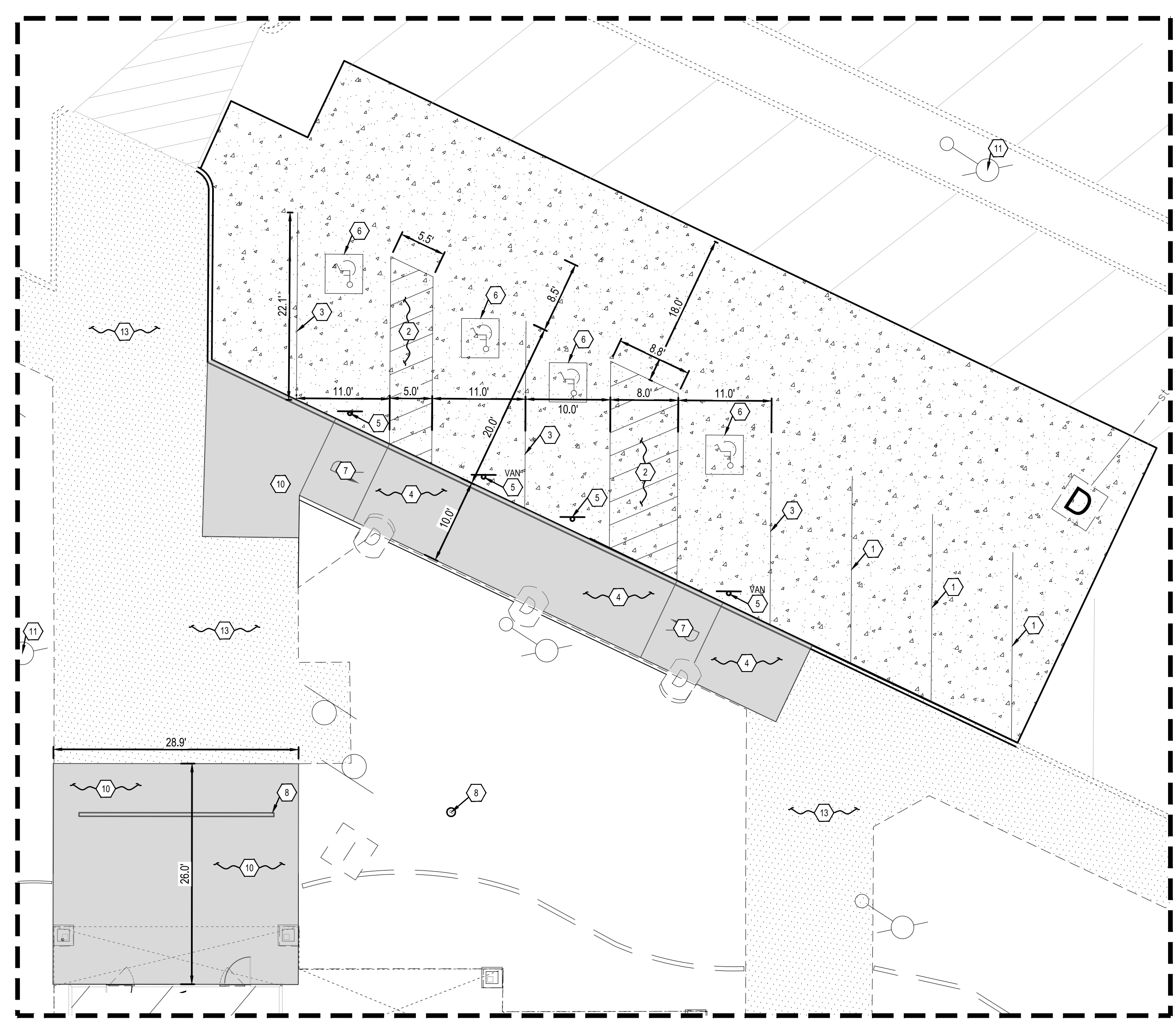
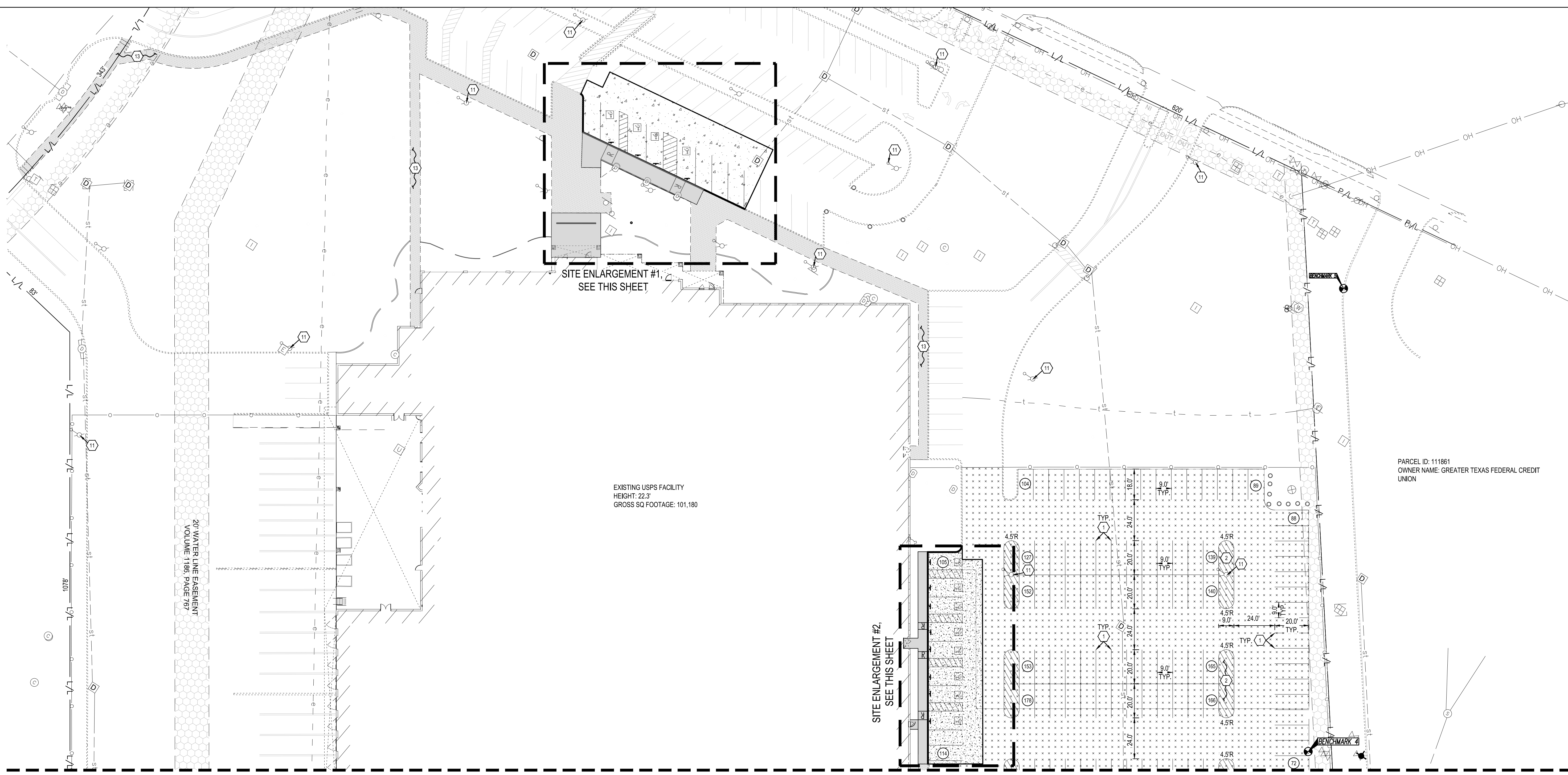
- PROPOSED CONCRETE PAVEMENT. SEE SHEET C-501.
- PROPOSED CONCRETE WALK. SEE SHEET C-501.
- CONTRACTOR SHALL USE AIR COMPRESSOR (100 PSI MINIMUM) TO THOROUGHLY CLEAN ALL CONCRETE PAVEMENT CRACKS AND JOINTS OF ANY DEBRIS AND VEGETATION. PAVEMENT SHALL BE SWEEPED TO COLLECT AND DISPOSE OF ALL ACCUMULATED DEBRIS AND VEGETATION. AFTER SWEEPING, CONTRACTOR SHALL FILL ALL CRACKS AND JOINTS IN ACCORDANCE WITH TXDOT ITEM NO. 380 AND DMS-4310 "JOINT SEALANTS AND FILLERS".
- CONTRACTOR SHALL POWER WASH ALL SIDEWALKS FREE OF DEBRIS, DIRT AND STAINS. ONCE DRIED, CONTRACTOR SHALL CRACK FILL AND SEAL ALL JOINTS PER TXDOT SPECIFICATION SECTION 360.
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER

**PLAN KEYNOTES** (A)

1. PROPOSED PAINTED 4" WIDE SOLID YELLOW STRIPE. SEE PAVEMENT MARKINGS AND NOTES ON SHEET C-501.
2. PROPOSED PAINTED TRANSVERSE STRIPING. SEE SHEET C-501.
3. PROPOSED PAINTED 4" WIDE SOLID BLUE STRIPE. SEE PAVEMENT MARKINGS AND NOTES ON SHEET C-501.
4. PROPOSED CONCRETE CURBED WALK. SEE SHEET C-501.
5. PROPOSED ADA CRASH RATED BOLLARD. (SEE PLAN FOR VAN ACCESSIBLE SPACE. PROVIDE APPROPRIATE SIGNAGE PER DETAIL). SEE SHEET C-501.
6. PROPOSED PAINTED ADA PAVEMENT SYMBOL PER ADA SPECIFICATIONS AND SHEET C-501.
7. PROPOSED ADA RAMP PER ADA SPECIFICATIONS AND SHEET C-501.
8. PROPOSED UTILITY STRUCTURE. SEE GRADING PLAN.
9. PROPOSED CURB TAPER. SEE SHEET C-501.
10. PROPOSED CONCRETE WALK. SEE SHEET C-501.
11. PROPOSED LIGHT POLE UPGRADES ON EXISTING FIXTURE. SEE ELECTRICAL PLANS.
12. PROPOSED CONCRETE CURB. SEE SHEET C-501.
13. PROPOSED CONCRETE SIDEWALK MAINTENANCE. SEE NOTE ABOVE.

**PARKING SPACES**

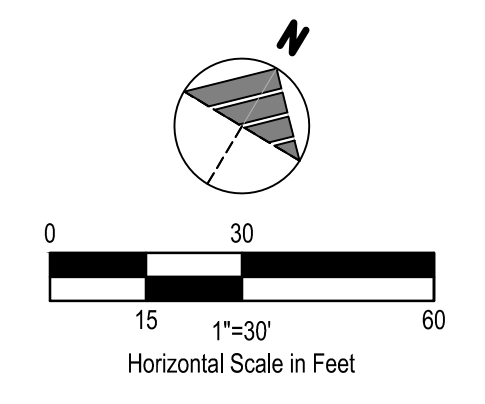
EXISTING SPACES	CARRIER		EMPLOYEE	RETAIL
	LLV	NGOV		
PREFERRED SPACES	15	154	322	97
PROPOSED SPACES	0	143	334	96



**BENCHMARKS:**  
ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS UTILIZING THE ALLTERRA RTK NETWORK. NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 12A).  
BENCHMARK #5 "X-CUT"  
N=10220475.2  
E=3550838.1  
ELEV=337.6'  
NOTE: REFER TO PROJECT PLAN/BENCHMARK KEY AND PROVIDED TOPOGRAPHIC EXHIBIT FOR COMPLETE BENCHMARK INFORMATION



MATCHLINE - SEE SHEET C-122



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**LEGEND**  
(SEE SHEET C-001 FOR GENERAL LEGEND)

	PROPOSED CONTOUR
	PROPOSED ELEVATION @ FINISHED GROUND/PAVEMENT ELEVATION, OR 6" CURBING (WHERE APPLICABLE)
	MATCH EXISTING PAVEMENT/GROUND ELEVATION
	ADJUSTED RIM ELEVATION OF UTILITY STRUCTURE
	TOP OF CURB ELEVATION
	BOTTOM OF CURBFINISHED PAVEMENT ELEVATION
	TOP OF CURB ELEVATION TO MATCH EXISTING ELEVATION
	BOTTOM OF CURBFINISHED PAVEMENT ELEVATION
	PROPOSED DRAINAGE SLOPE & DIRECTION

**PLAN KEYNOTES**

- CONTRACTOR SHALL PROVIDE A 5' SHOULDER AT A 5% SLOPE AT THE EDGE OF PAVEMENT.

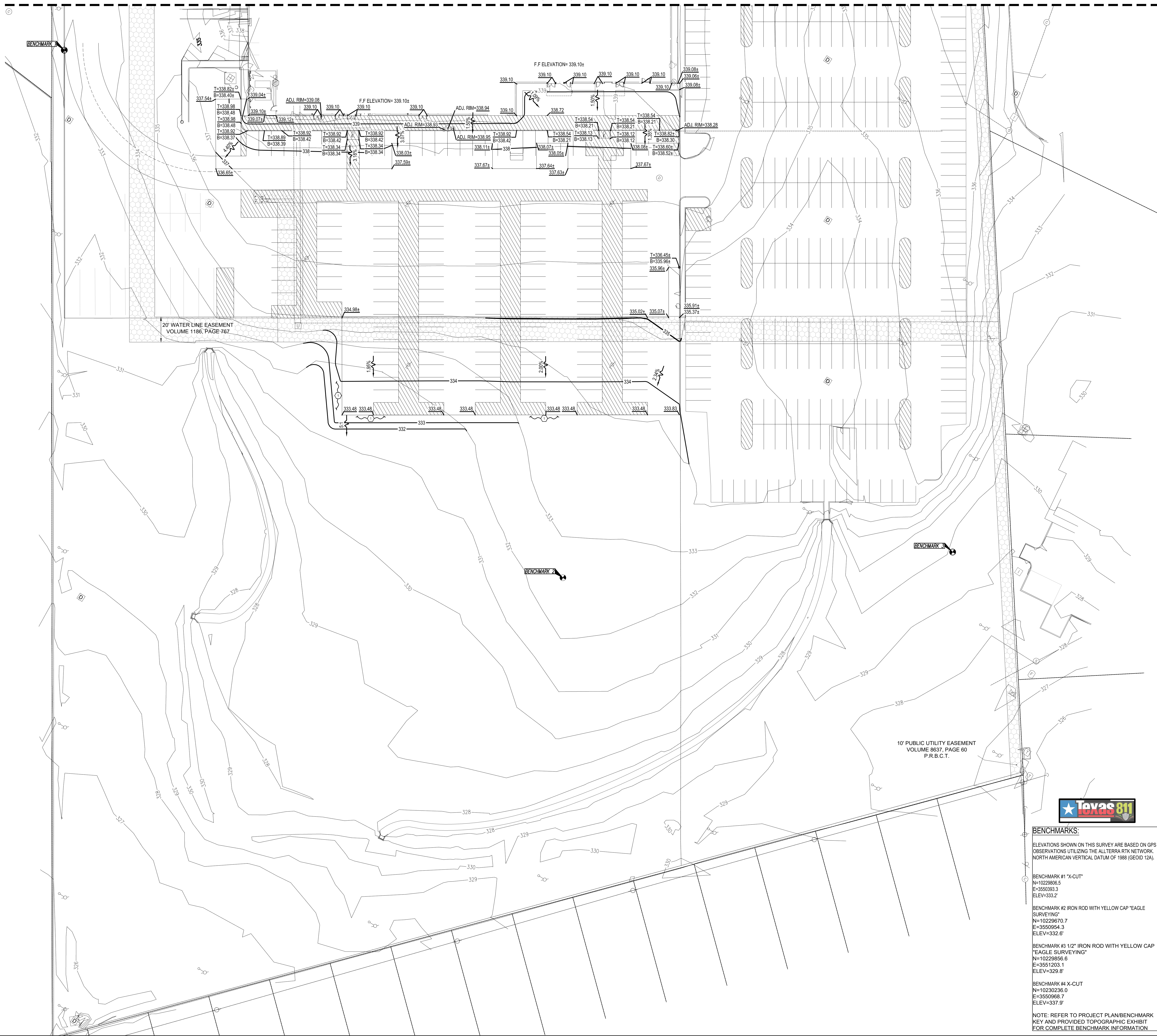
PROJECT MANAGER	DESIGNER
Project Manager (Only)	Designer (Only)
	2022359.02

USFS SDC - BRYAN, TX - PH2  
2121 E. W. WIL J. BRYAN PKWY  
BRYAN, TX 77801



Facilities, 4301 Wilson Blvd., Suite 300, Arlington, VA 22203-1861

**C-121**  
Scale: NTS  
Project: USFS SDC - BRYAN, TX - PH2  
Date: 02/10/2023  
Revisions: FOR CONSTRUCTION  
USFS File Number:



**BENCHMARKS:**  
ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS UTILIZING THE ALLTERRA RTK NETWORK, NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 12A).

BENCHMARK #1 'X-CUT'  
N=10228806.5  
E=3550393.3  
ELEV=333.2'

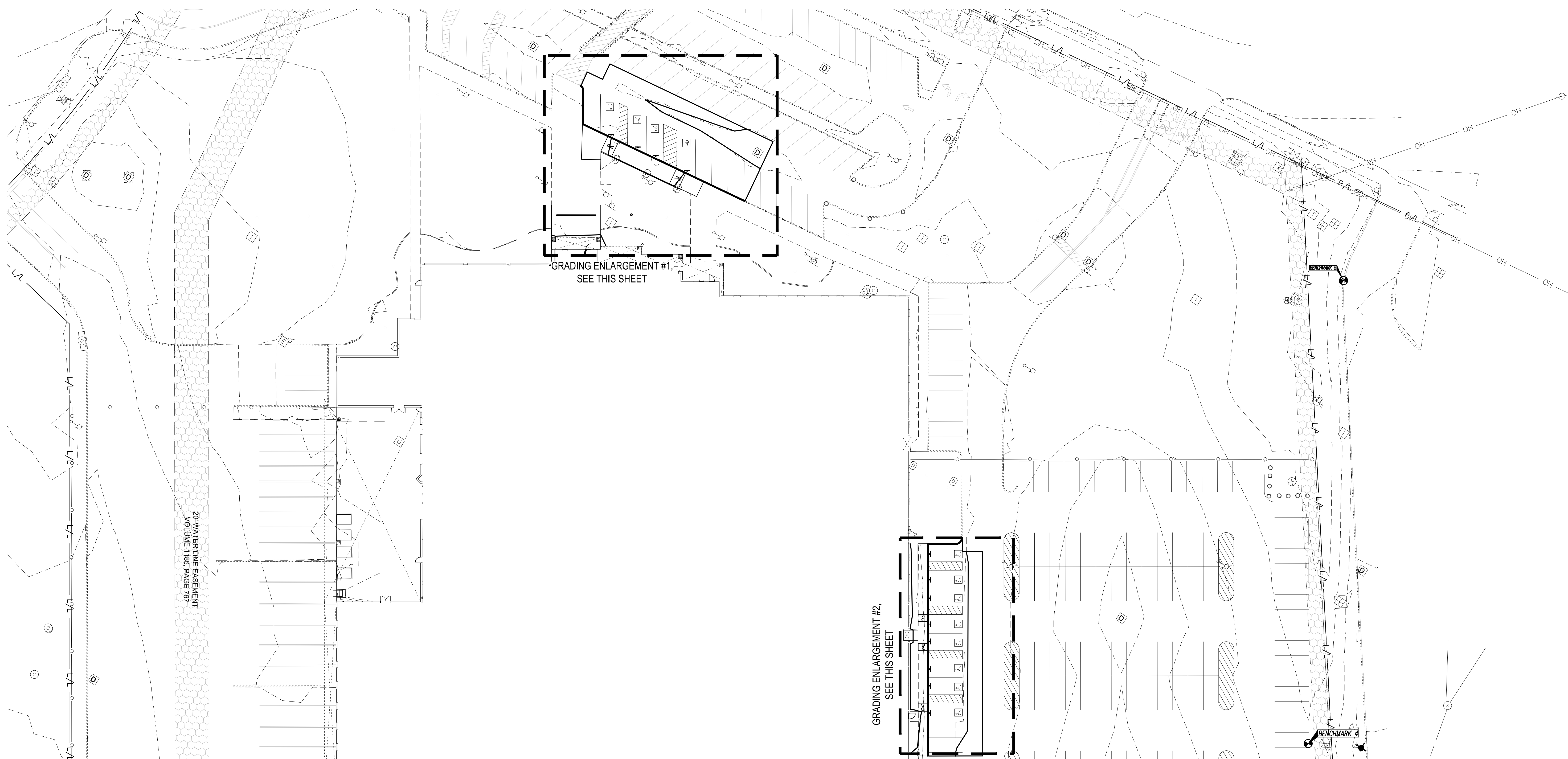
BENCHMARK #2 IRON ROD WITH YELLOW CAP 'EAGLE SURVEYING'  
N=10229870.7  
E=3550954.3  
ELEV=332.6'

BENCHMARK #3 1/2" IRON ROD WITH YELLOW CAP 'EAGLE SURVEYING'  
N=10229856.6  
E=3551203.1  
ELEV=329.8'

BENCHMARK #4 'X-CUT'  
N=10229238.0  
E=3550968.7  
ELEV=337.9'

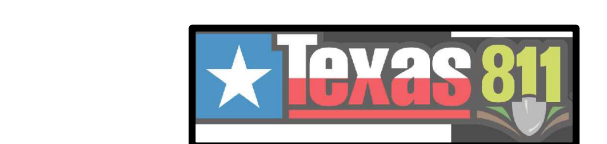
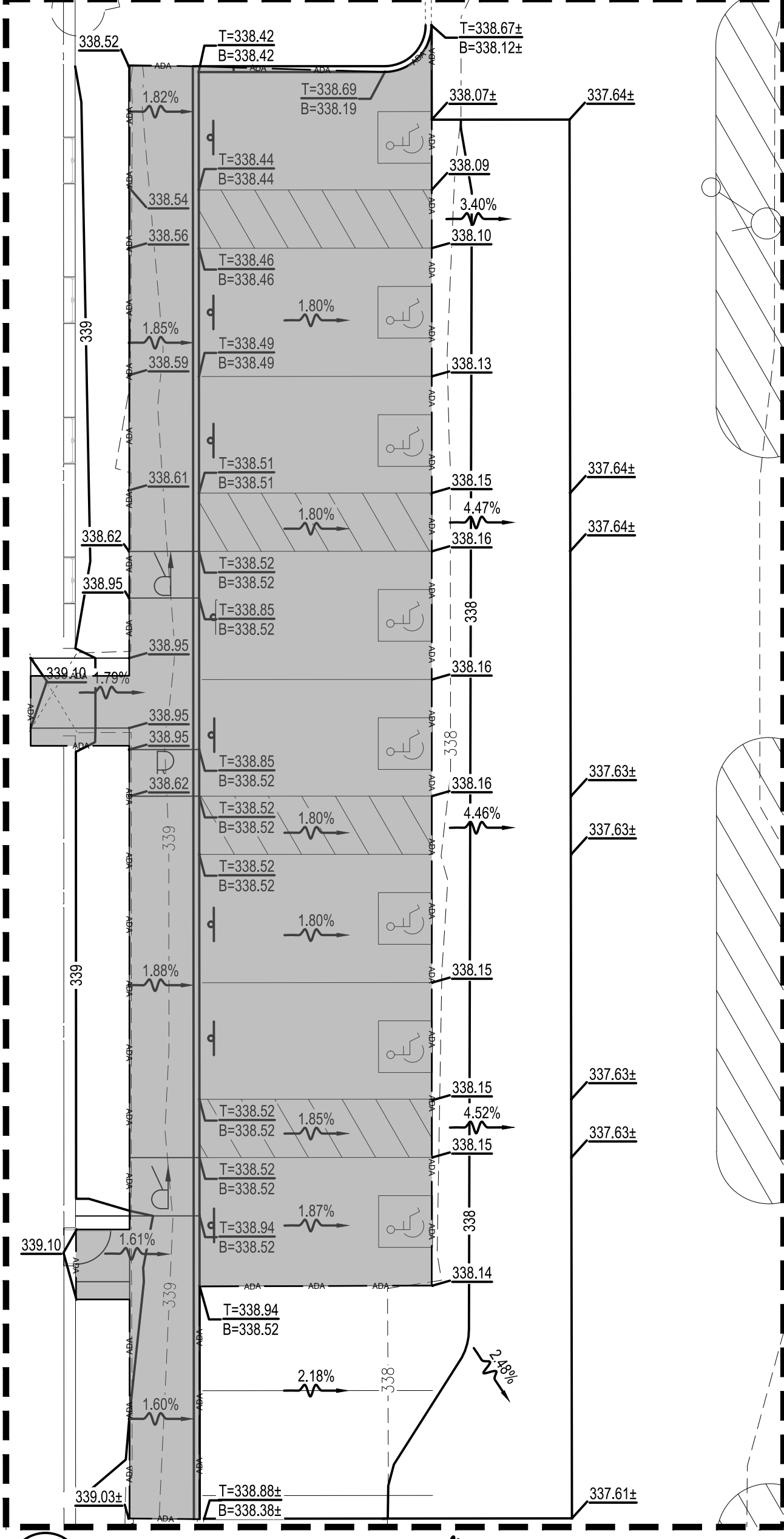
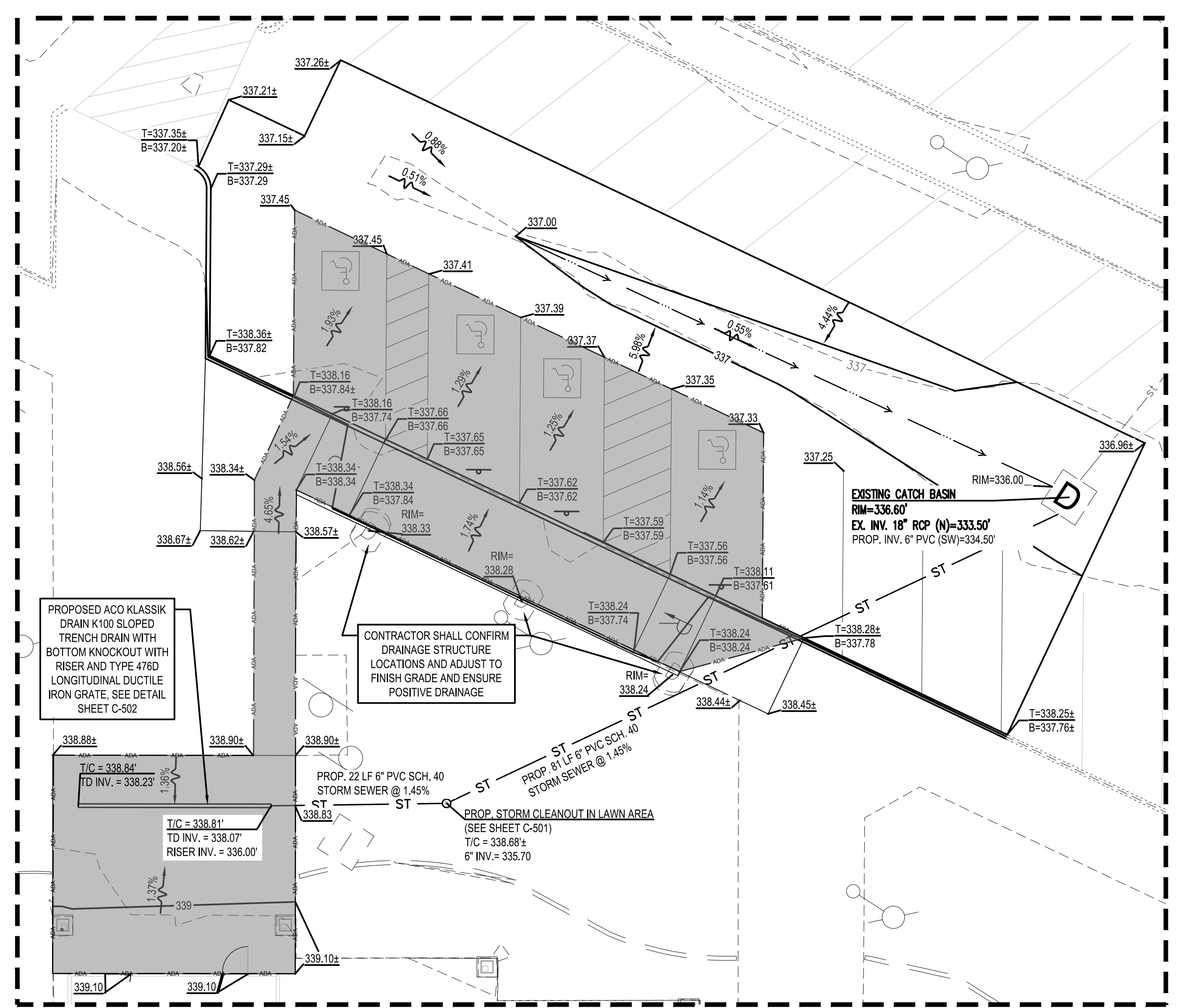
NOTE: REFER TO PROJECT PLAN/BENCHMARK KEY AND PROVIDED TOPOGRAPHIC EXHIBIT FOR COMPLETE BENCHMARK INFORMATION





- LEGEND**  
(SEE SHEET C-001 FOR GENERAL LEGEND)
- PROPOSED CONTOUR
  - XXX.XX PROPOSED ELEVATION @ FINISHED GROUND/PAVEMENT ELEVATION, OR 6" CURBING (WHERE APPLICABLE)
  - XXX.XX± TOP OF CURB ELEVATION/GROUND ELEVATION
  - T=XXX.XX  
B=XXX.XX TOP OF CURB ELEVATION  
BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION
  - T=XXX.XX±  
B=XXX.XX± TOP OF CURB ELEVATION  
BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION TO MATCH EXISTING ELEVATION
  - T=XXX.XX±  
B=XXX.XX±± TOP OF CURB ELEVATION TO MATCH EXISTING ELEVATION  
BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION TO MATCH EXISTING ELEVATION
  - 0.0%± PROPOSED SLOPE & DIRECTION
  - RM=XXX.XX GRATE ELEVATION OF UTILITY STRUCTURE
  - LIMITS OF ADA ROUTING
  - ST PROPOSED STORM PIPE
  - PROPOSED SLOPE
- UTILITY CROSSINGS**  
GENERAL UTILITY CROSSING NOTES:
- CONTRACTOR SHALL COORDINATE ALL CROSSINGS/RELOCATIONS WITH THE RESPECTIVE UTILITY COMPANIES.
  - EXISTING AND PROPOSED PRESSURIZED (WATER & GAS) AND SECONDARY (ELECTRIC & COMMUNICATIONS) UTILITIES SHALL DEFLECT TO MAINTAIN 18" CLEAR AT SANITARY OR STORM SEWER CROSSINGS WHEN CONFLICTS OCCUR.
  - WHEN A PROPOSED PRESSURIZED/SECONDARY UTILITY IS IN CROSSING CONFLICT WITH AN EXISTING PRESSURIZED/SECONDARY UTILITY, THE PROPOSED UTILITY SHALL DEFLECT TO OBTAIN MINIMUM CLEARANCE.
  - CONTRACTOR SHALL FIELD LOCATE EXISTING PRESSURIZED/SECONDARY UTILITIES THAT MAY CONFLICT WITH THE INSTALLATION OF THE PROPOSED STORM PIPE.
  - FOR CLEARANCE BETWEEN PIPES OF LESS THAN 18", THE CONTRACTOR SHALL PROVIDE CONCRETE ENCASEMENT.

MATCHLINE - SEE SHEET C-121



**BENCHMARKS:**  
ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS UTILIZING THE ALLTERRA RTK NETWORK. NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 12A).

BENCHMARK #5 "X-CUT"  
N=10230475.2  
E=3550838.1  
ELEV=337.6'

NOTE: REFER TO PROJECT PLAN/BENCHMARK KEY AND PROVIDED TOPOGRAPHIC EXHIBIT FOR COMPLETE BENCHMARK INFORMATION